

# PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)

## 50 ASHMORE STREET - EVERTON PARK FOR MIRVAC QUEENSLAND PTY LTD

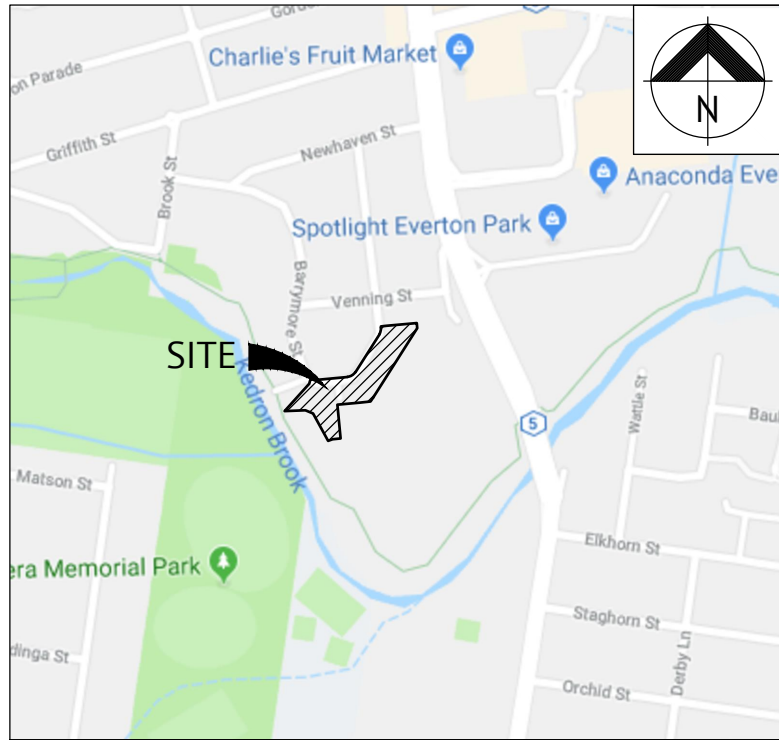
### SEWERAGE

#### AS CONSTRUCTED CERTIFICATION

I, Richard Morris hereby certify that:

- The information contained in this drawing/document is generally in compliance with approved drawings and design.
- To the best of my knowledge, this represents an accurate record of as constructed works and I accept the responsibility for the information contained in this drawing/document. Excluding Survey Error.

RPEQ No. 13484 Date 19/05/21  
RPEQ (Signature)



#### LOCALITY PLAN

#### REAL PROPERTY DESCRIPTION

LOTS 82, 83, 84, 85, 86, 87, 88, 89, 90, 91 ON  
RP72156 AND LOT 100 ON SP 155725

#### GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND SEWERAGE CODE SPECIFICATIONS AND STANDARDS.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO THE QUU SEWERAGE SYSTEM.
- ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY THE CONTRACTOR UNDER QUU SUPERVISION AT THE DEVELOPER'S COST.
- ALL PIPES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE 'ACCEPTED PRODUCTS AND MATERIALS' LIST.
- EACH ALLOTMENT SHALL BE SERVED BY A DN110 PE PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 PE PROPERTY CONNECTION SHALL BE PROVIDED.
- PROPERTY CONNECTIONS SHALL BE LOCATED WITHIN THE PROPERTY AS SHOWN IN THE DRAWINGS.
- PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300mm AND A MAXIMUM OF 750mm.
- WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300mm (LOOSE) IN DEPTH AND SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY QUU UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.
- WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEQ SEWER CODE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- SEWERS SHALL BE DISUSED /ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN THE SEQ SEWER CODE.
- BENCH MARK AND LEVELS TO AHD.
- EXISTING ALLOTMENTS REQUIRING A PROPERTY CONNECTION FROM EXISTING SEWERS SHALL BE PROVIDED BY THE CONTRACTOR UNDER QUU SUPERVISION AT THE DEVELOPER'S COST.
- REFER TO BULK EARTHWORKS DRAWINGS FOR FINISHED SURFACE LEVELS.
- ALL SEWER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORK HEALTH AND SAFETY ACT. FOR INFORMATION PHONE: 1300 362 128.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO ALLOW CONSTRUCTION OF THE SEWER SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND SAFE SHORING TO ALLOW SEWER MAINTENANCE SECTION TO CARRY OUT LIVE SEWER WORK.
- CONSTRUCT TRENCHES TO SEQ-SEW-1200-2, WITH EMBEDMENT TYPE 3 SUPPORT MINIMUM TO SEQ-SEW-1201-1, AND ROAD CROSSINGS TO SEQ-SEW-1205-1 AND BRISBANE CITY COUNCIL STANDARDS.
- CONSTRUCT PROPERTY CONNECTIONS TO SEQ-SEW-1100 SERIES.
- CONSTRUCT MH'S TO SEQ-SEW-1301-1, 1301-2 & -3 (TYPE G), 1304-1, 1305-1, 1313-1 (CONNECTION).
- CONSTRUCT MS'S TO SEQ-SEW-1301-12, 1315-1 AND 1316-1.
- CONSTRUCT BULKHEADS TO SEQ-SEW-1206-1.
- INSTALL DETECTABLE MARKER TAPE ON ALL MAINS AND PROPERTY CONNECTIONS.

#### VEGETATION PROTECTION

- TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED. NALL PERMIT REQUIRED IF TREES ARE IMPACTED.
- WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

#### SOIL

- TOPSOIL AND SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- ANY ACID SULPHATE SOILS FOUND TO EXIST IN THE WORKS AREA SHALL BE MANAGED IN ACCORDANCE WITH AN APPROVED ACID SULPHATE SOIL MANAGEMENT PLAN.

#### CREEK CROSSINGS

- SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- NO SOIL SHALL BE STOCKPILED WITHIN 5m OF THE CREEK.

#### REHABILITATION

- PREDISTURBANCE SOIL PROFILES AND COMPACTION LEVELS SHALL BE REINSTATED.
- PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

#### SAFETY

- THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

#### SHEET LIST TABLE

SHEET NO.	SHEET TITLE
C500	SEWERAGE LOCALITY PLAN & NOTES
C510	OVERALL SEWERAGE LAYOUT PLAN
C511	SEWERAGE LAYOUT PLAN - SHEET 1
C512	SEWERAGE LAYOUT PLAN - SHEET 2
C513	SEWERAGE LAYOUT PLAN - SHEET 3
C514	SEWER PIPE PROTECTION DETAILS
C515	SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 1
C516	SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 2
C517	SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 3
C520	SEWERAGE LONG SECTIONS - SHEET 1
C521	SEWERAGE LONG SECTIONS - SHEET 2
C522	SEWERAGE LONG SECTIONS - SHEET 3
C530	SEWERAGE NOTES AND DETAILS

#### INDEMNITY - EXISTING SERVICES

NOT WITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE ENGINEER OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGES CAUSED AS A RESULT OF THE WORKS.

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO COMMENCING ANY CONSTRUCTION WORK, INCLUDING CLEARING.

ALL SEWER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORK HEALTH AND SAFETY ACT 2011. CONTACT THE DIVISION OF WORKPLACE HEALTH & SAFETY FOR INFORMATION.  
PHONE: 1300 362 128

CONTACT 'DIAL BEFORE YOU DIG' ON 1100 FOR LOCATION OF EXISTING PUBLIC SERVICES PRIOR TO EXCAVATION.

THESE WORKS ARE CONSIDERED MAJOR WORKS THAT MUST BE SUPERVISED BY A CONSULTING ENGINEER WITH RPEQ ACCREDITATION. THE CONSULTING ENGINEER IS TO ARRANGE PRE-START MEETING BY CONTACTING DEVELOPMENT.AUDIT@URBANUTILITIES.COM.AU

ALL WORKS ARE DESIGNED IN ACCORDANCE WITH THE SEQ CODE AND QUU REQUIREMENTS.

ALL LIVE WORKS SHALL BE UNDERTAKEN BY THE CONTRACTOR IN ACCORDANCE WITH A VALID NETWORK ACCESS PERMIT, UNDER THE SUPERVISION OF QUU, AT THE DEVELOPER'S EXPENSE.

SEWERAGE DESIGN IS IN ACCORDANCE WITH CURRENT SEQ CODE AND QUU REQUIREMENTS.

WHERE THE SEWER CROSSES UNDER A RETAINING WALL AND/OR WITHIN THE ZONE OF INFLUENCE OF A RETAINING STRUCTURE, AN RPEQ CERTIFICATE SHALL BE PROVIDED TO QUU VERIFYING THE STRUCTURAL INTEGRITY OF THE SEWER. WHERE THE SEWER CROSSES UNDER A BOULDER WALL, A CONCRETE BRIDGING SLAB SHALL BE PLACED OVER THE SEWER AND AN RPEQ CERTIFICATE PROVIDED TO QUU FOR THE SLAB DESIGN AND THE INTEGRITY OF THE SEWER.

BUILD OVER ASSET APPROVAL IS NOT PART OF THIS ASSESSMENT. OBTAIN SEPARATE BUILD OVER ASSET APPROVAL AS REQUIRED. REFER SEQ SEWERAGE CODE CLAUSE 4.4.4.

PROPERTY CONNECTIONS SHALL BE CLEAR OF RETAINING WALLS IN ACCORDANCE WITH THE SEQ CODE AND BUILD OVER ASSET REQUIREMENTS. OBTAIN SEPARATE BUILD OVER ASSET APPROVAL AS NECESSARY.

AS CONSTRUCTED



# Premise

ENGINEERING CERTIFICATION	DATE	JOB CODE	SHEET NUMBER	REVISION
PATRICK BRADY	RPEQ 7112	17BNE-0071	C500	E

CLIENT	MIRVAC QUEENSLAND PTY LTD
CONTACT	PATRICK BRADY - PREMISE Ph. 3253 2222
Q.U.U. AUDITOR	AUDIT & COMPLIANCE OFFICER
	QUEENSLAND URBAN UTILITIES
CONTACT	Ph. 3855 6841

AS CONSTRUCTED DETAILS FOR AMEND.

I CERTIFY THAT THE 'AS CONSTRUCTED' DETAILS SHOWN ON THIS PLAN ARE TRUE AND ACCURATE RECORD OF THE WORKS

SIGNED Richard Morris DATE: 19/05/21

NAME OF SIGNATORY Richard Morris

RPEQ No. or LICENCE 13484

COMPANY NAME Premise Australia Pty Ltd

START DATE April 2020

A 'PERMIT TO WORK' MUST BE OBTAINED FROM THE RELEVANT QUU CONTROL ROOM PRIOR TO COMMENCEMENT OF WORK ON SITE. A MINIMUM PERIOD OF TEN WORKING DAYS IS REQUIRED FOR THE ISSUING OF A PERMIT.  
DEVELOPMENT.PERMITS@URBANUTILITIES.COM.AU

CONSTRUCTION INSPECTION:  
NOTIFICATION OF INSPECTION MUST BE RECEIVED BY QUEENSLAND URBAN UTILITIES AT DEVELOPMENT.AUDIT@URBANUTILITIES.COM.AU AT LEAST TWO WEEKS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NAME OF ESTATE	
SUBDIVIDER	MIRVAC QUEENSLAND PTY LTD
APPLICATION No.	19-PNT-41435
SP DELEGATE APPROVAL DATE	15/01/2020
COUNCIL DA APPROVAL No.	A004708283
DRAWING/PLAN No.	C500, C510, C520-C522, C530
No. OF ALLOTMENTS	11
AREA ha	8.2ha
LENGTH OF SEWERS	DN110 PE100 PN8 SDR21
	DN160 PE100 PN8 SDR21



**LEGEND - PROPOSED**

- DN160 PE100 GRAVITY SEWER
- SEWER EASEMENT
- LOT NUMBER
- PROPOSED MAINTENANCE HOLE OR MAINTENANCE STRUCTURE NUMBER. REFER LONG SECTION DRAWINGS FOR STRUCTURE DETAILS.
- STAGE BOUNDARY

**LEGEND - EXISTING**

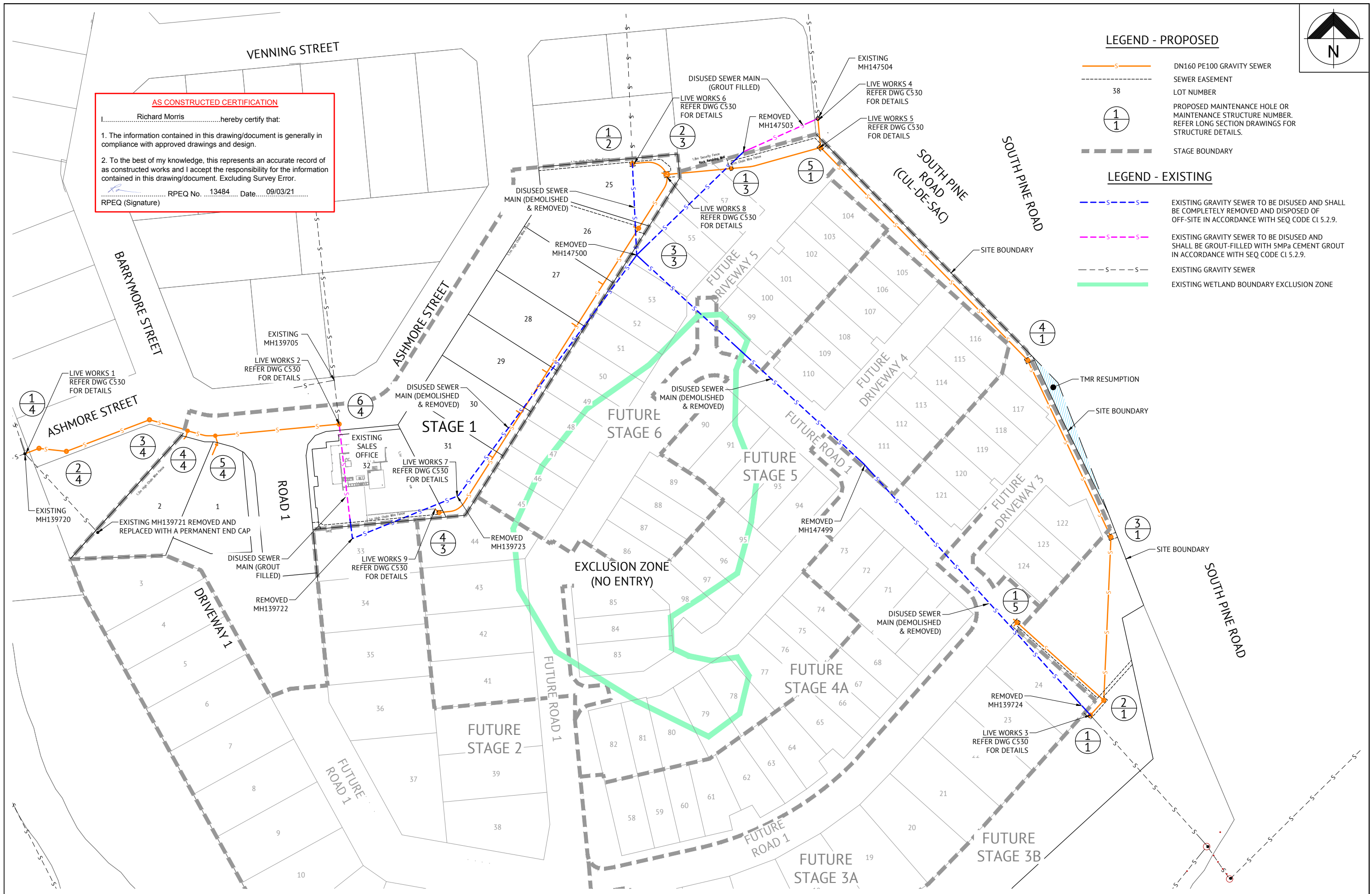
- EXISTING GRAVITY SEWER TO BE DISUSED AND SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH SEQ CODE CI 5.2.9.
- EXISTING GRAVITY SEWER TO BE DISUSED AND SHALL BE GROUT-FILLED WITH SMPa CEMENT GROUT IN ACCORDANCE WITH SEQ CODE CI 5.2.9.
- EXISTING GRAVITY SEWER
- EXISTING WETLAND BOUNDARY EXCLUSION ZONE

**AS CONSTRUCTED CERTIFICATION**

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- To the best of my knowledge, this represents an accurate record of as constructed works and I accept the responsibility for the information contained in this drawing/document. Excluding Survey Error.

RPEQ No. 13484 Date 09/03/21  
RPEQ (Signature)



**AS CONSTRUCTED**

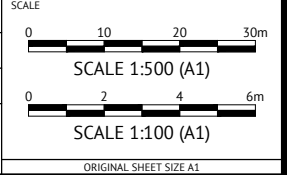
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09/03/2021	E	AS CONSTRUCTED		BA	RIM
28/07/2020	D	MINOR NOTATION AMENDED		EL	PB
16/07/2020	C	DRAWING NAME AMENDED AND DETAILING REMOVED		EL	PB
21/05/2020	B	DRAWING AMENDMENTS AS PER QUJ RFI 08/05/2020		EL	PB
02/04/2020	A	ORIGINAL ISSUE		EL	JCS

**Premise**

**BRISBANE OFFICE**  
LEVEL 1, 100 BRUNSWICK STREET  
FORTITUDE VALLEY, QLD 4006  
PH: (07) 3253 2222  
WEB: www.premise.com.au

DESIGNED  
**E.LONGMIRE**  
CHECKED  
**M.MAJZNER**  
PROJECT MANAGER  
**R.LLEWELYN**  
ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112



CLIENT  
**MIRVAC QUEENSLAND PTY LTD**

PROJECT  
**PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**

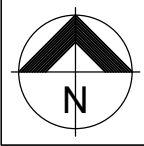
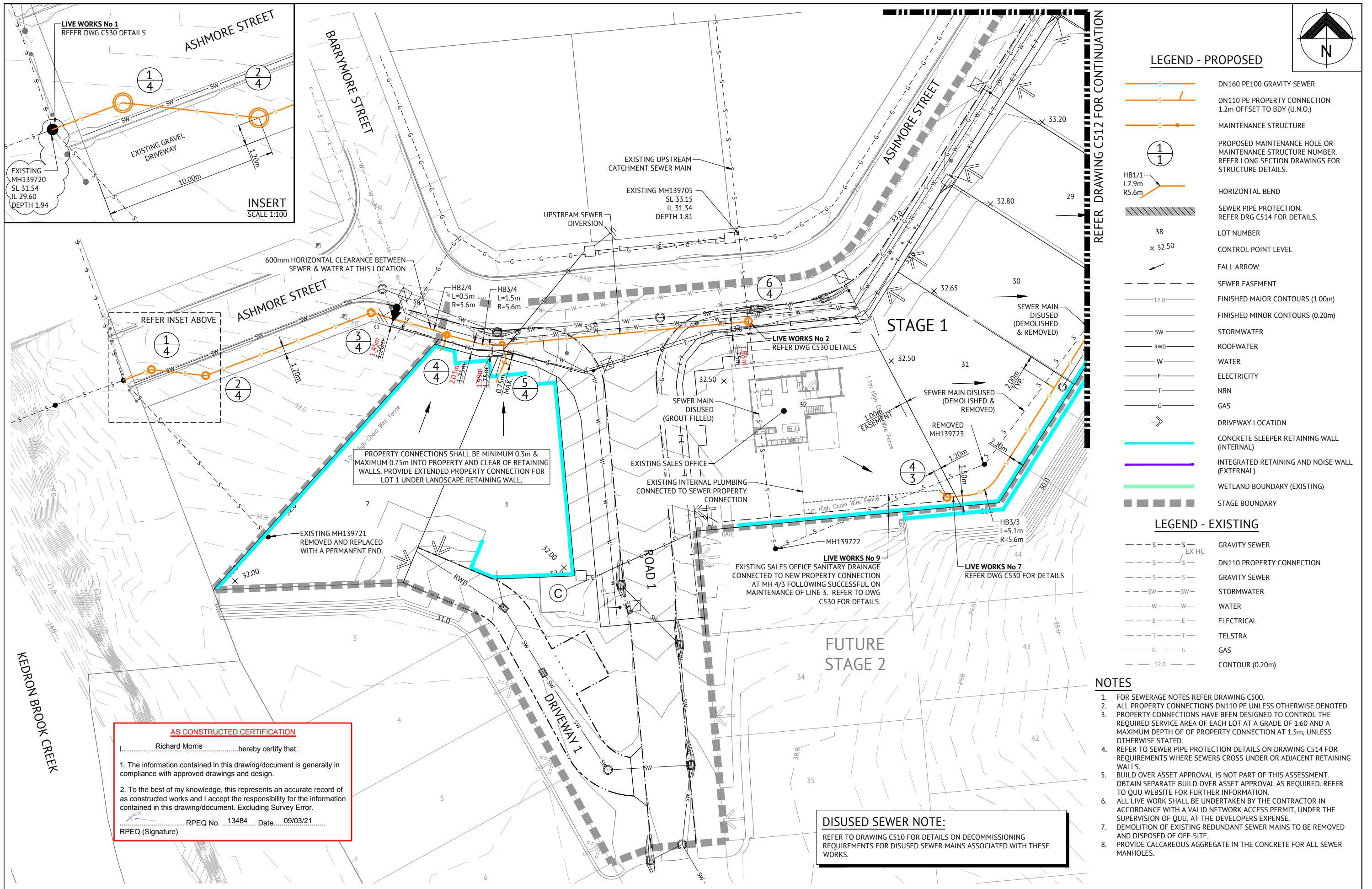
LOCATION  
**50 ASHMORE STREET - EVERTON PARK**

SHEET TITLE  
**OVERALL SEWERAGE LAYOUT PLAN**

JOB CODE  
**17BNE-0071**

SHEET NUMBER  
**C510**

REV  
**E**



**LEGEND - PROPOSED**

- DN160 PE100 GRAVITY SEWER
- DN110 PE PROPERTY CONNECTION 1.2m OFFSET TO BDY (U.N.O.)
- MAINTENANCE STRUCTURE
- PROPOSED MAINTENANCE HOLE OR MAINTENANCE STRUCTURE NUMBER. REFER LONG SECTION DRAWINGS FOR STRUCTURE DETAILS.
- HORIZONTAL BEND
- SEWER PIPE PROTECTION. REFER DRG C514 FOR DETAILS.
- LOT NUMBER
- CONTROL POINT LEVEL
- FALL ARROW
- SEWER EASEMENT
- FINISHED MAJOR CONTOURS (1.00m)
- FINISHED MINOR CONTOURS (0.20m)
- STORMWATER
- ROOFWATER
- WATER
- ELECTRICITY
- NBN
- GAS
- DRIVEWAY LOCATION
- CONCRETE SLEEPER RETAINING WALL (INTERNAL)
- INTEGRATED RETAINING AND NOISE WALL (EXTERNAL)
- WETLAND BOUNDARY (EXISTING)
- STAGE BOUNDARY

**LEGEND - EXISTING**

- EX HC GRAVITY SEWER
- DN110 PROPERTY CONNECTION
- GRAVITY SEWER
- STORMWATER
- WATER
- ELECTRICAL
- TELSTRA
- GAS
- CONTOUR (0.20m)

**NOTES**

1. FOR SEWERAGE NOTES REFER DRAWING C500.
2. ALL PROPERTY CONNECTIONS DN110 PE UNLESS OTHERWISE DENOTED.
3. PROPERTY CONNECTIONS HAVE BEEN DESIGNED TO CONTROL THE REQUIRED SERVICE AREA OF EACH LOT AT A GRADE OF 1:60 AND A MAXIMUM DEPTH OF OF PROPERTY CONNECTION AT 1.5m, UNLESS OTHERWISE STATED.
4. REFER TO SEWER PIPE PROTECTION DETAILS ON DRAWING C514 FOR REQUIREMENTS WHERE SEWERS CROSS UNDER OR ADJACENT RETAINING WALLS.
5. BUILD OVER ASSET APPROVAL IS NOT PART OF THIS ASSESSMENT. OBTAIN SEPARATE BUILD OVER ASSET APPROVAL AS REQUIRED. REFER TO QUU WEBSITE FOR FURTHER INFORMATION.
6. ALL LIVE WORK SHALL BE UNDERTAKEN BY THE CONTRACTOR IN ACCORDANCE WITH A VALID NETWORK ACCESS PERMIT, UNDER THE SUPERVISION OF QUU, AT THE DEVELOPERS EXPENSE.
7. DEMOLITION OF EXISTING REDUNDANT SEWER MAINS TO BE REMOVED AND DISPOSED OF OFF-SITE.
8. PROVIDE CALCAREOUS AGGREGATE IN THE CONCRETE FOR ALL SEWER MANHOLES.

**AS CONSTRUCTED CERTIFICATION**

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RPEQ No. 13484 Date 09/03/21  
 RPEQ (Signature)

**DISUSED SEWER NOTE:**  
 REFER TO DRAWING C510 FOR DETAILS ON DECOMMISSIONING REQUIREMENTS FOR DISUSED SEWER MAINS ASSOCIATED WITH THESE WORKS.

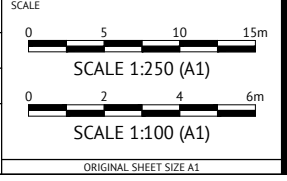
**AS CONSTRUCTED**

DATE	REV	DESCRIPTION	REVISIONS	REC	APP
09/03/21	C	AS CONSTRUCTED		BA	RIM
30/07/20	B	MINOR NOTATION AMENDED		EL	PB
15/07/20	A	NEW DRAWING - LAYOUT SCALE INCREASED TO 1:250 FOR CLARITY		REC	PB

**Premise**

**BRISBANE OFFICE**  
 LEVEL 1, 100 BRUNSWICK STREET  
 PO BOX 361  
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 WEB: www.premise.com.au

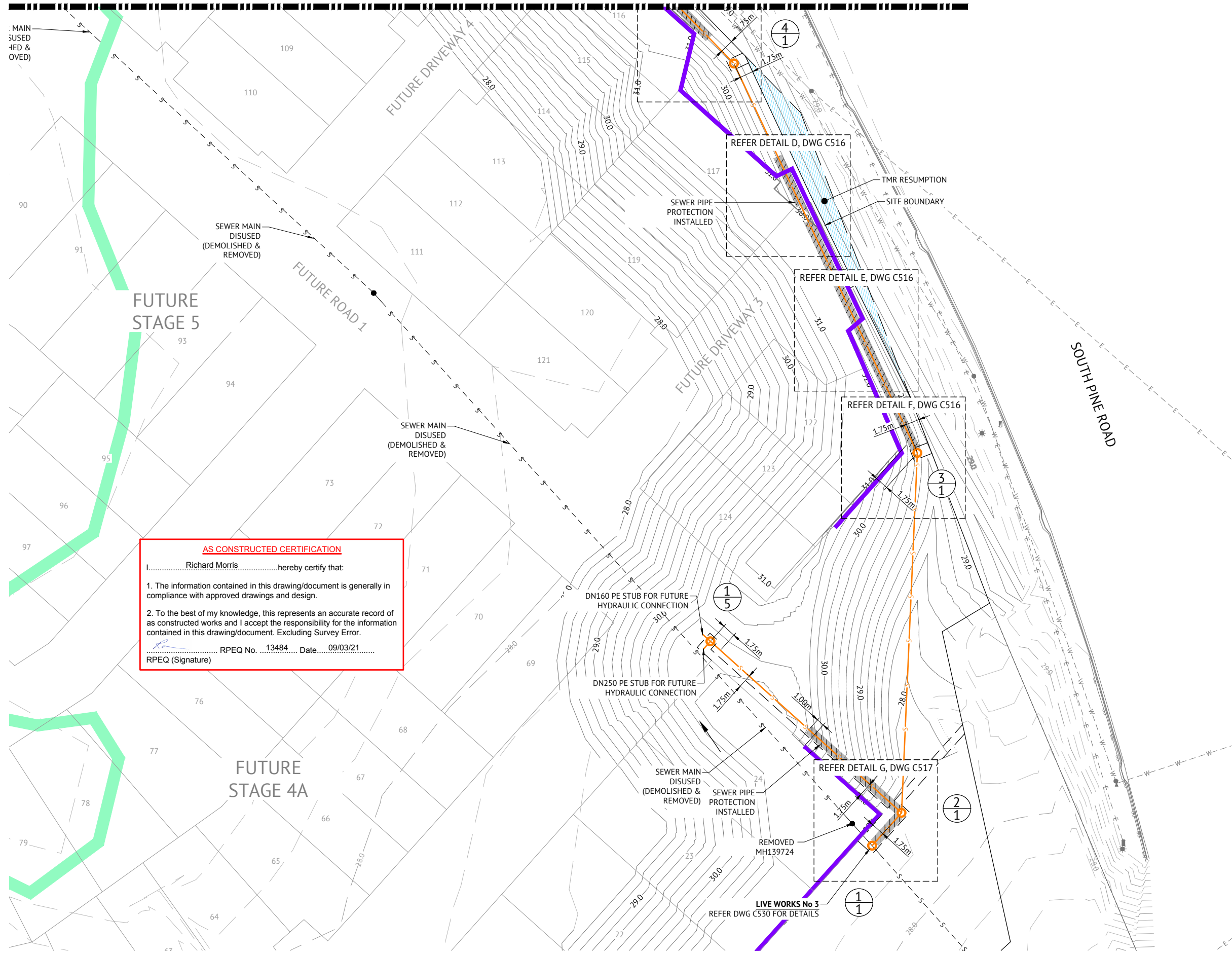
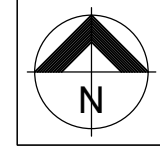
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 PROJECT MANAGER  
R.LLEWELYN  
 ENGINEERING CERTIFICATION



CLIENT	MIRVAC QUEENSLAND PTY LTD	JOB CODE	17BNE-0071
PROJECT	PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)	SHEET NUMBER	C511
LOCATION	420 SOUTH PINE ROAD - EVERTON PARK	REV	C
SHEET TITLE	SEWERAGE LAYOUT PLAN - SHEET 1		



REFER DRAWING C512 FOR CONTINUATION



**AS CONSTRUCTED CERTIFICATION**

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[Signature] RPEQ No. 13484 Date 09/03/21  
RPEQ (Signature)

**NOTES**

- FOR SEWERAGE NOTES REFER DRAWING C500 & C511.
- FOR SEWERAGE LEGEND REFER DRAWING C511.

**DISUSED SEWER NOTE:**

REFER TO DRAWING C510 FOR DETAILS ON DECOMMISSIONING REQUIREMENTS FOR DISUSED SEWER MAINS ASSOCIATED WITH THESE WORKS.

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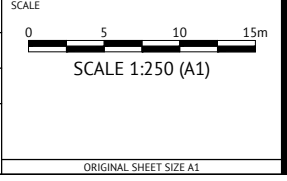
DATE	REV	DESCRIPTION	REVISIONS	REC	APP
09/03/2021	C	AS CONSTRUCTED		BA	RIM
28/07/2020	B	ISSUED FOR CONSTRUCTION		EL	PB
	A	NEW DRAWING - LAYOUT SCALE INCREASED TO 1:250 FOR CLARITY			PB

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PATRICK BRADY RPEQ 7112



CLIENT  
**MIRVAC QUEENSLAND PTY LTD**

PROJECT  
**PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**

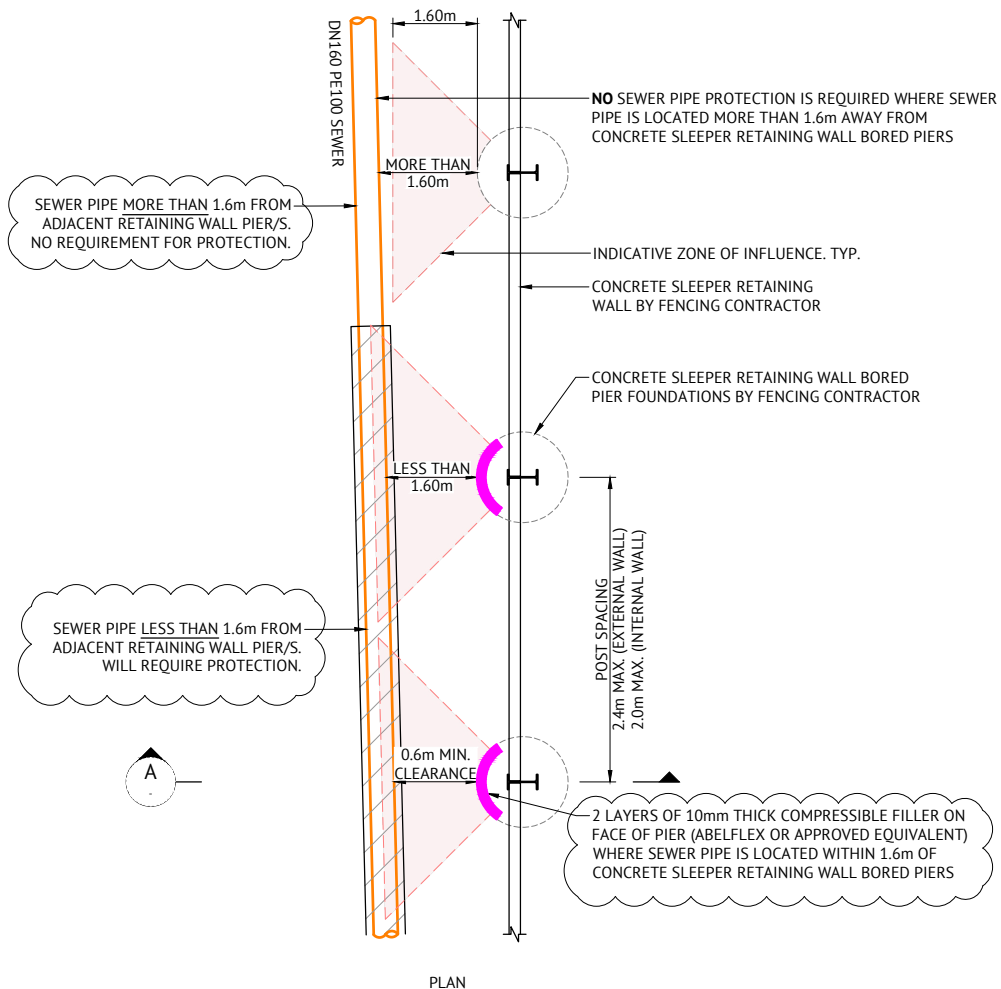
LOCATION  
**420 SOUTH PINE ROAD - EVERTON PARK**

SHEET TITLE  
**SEWERAGE LAYOUT PLAN - SHEET 3**

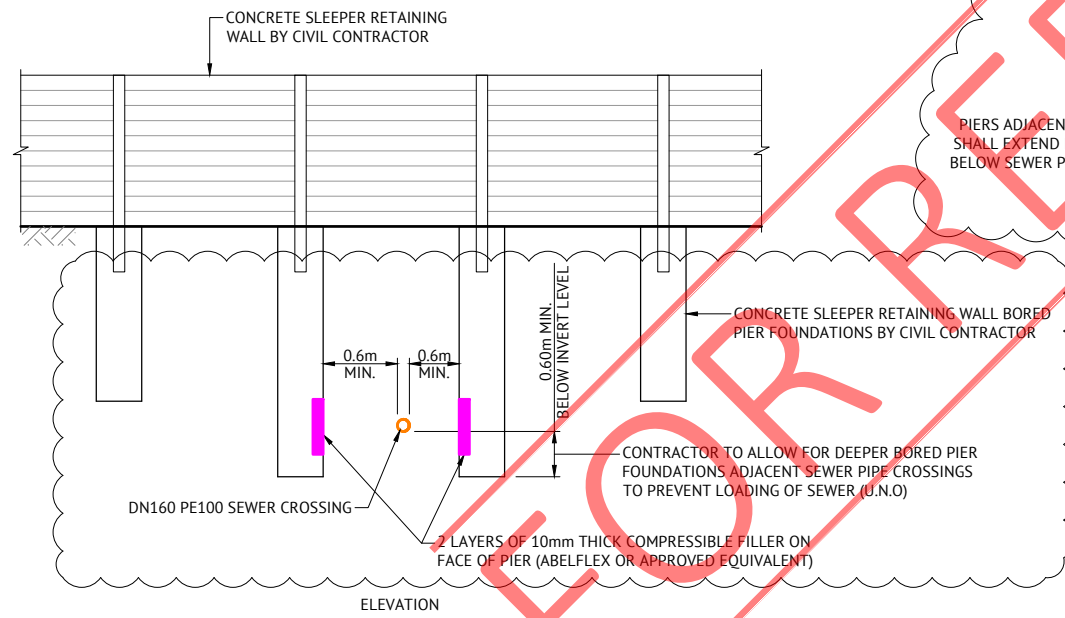
JOB CODE  
**17BNE-0071**

SHEET NUMBER  
**C513**

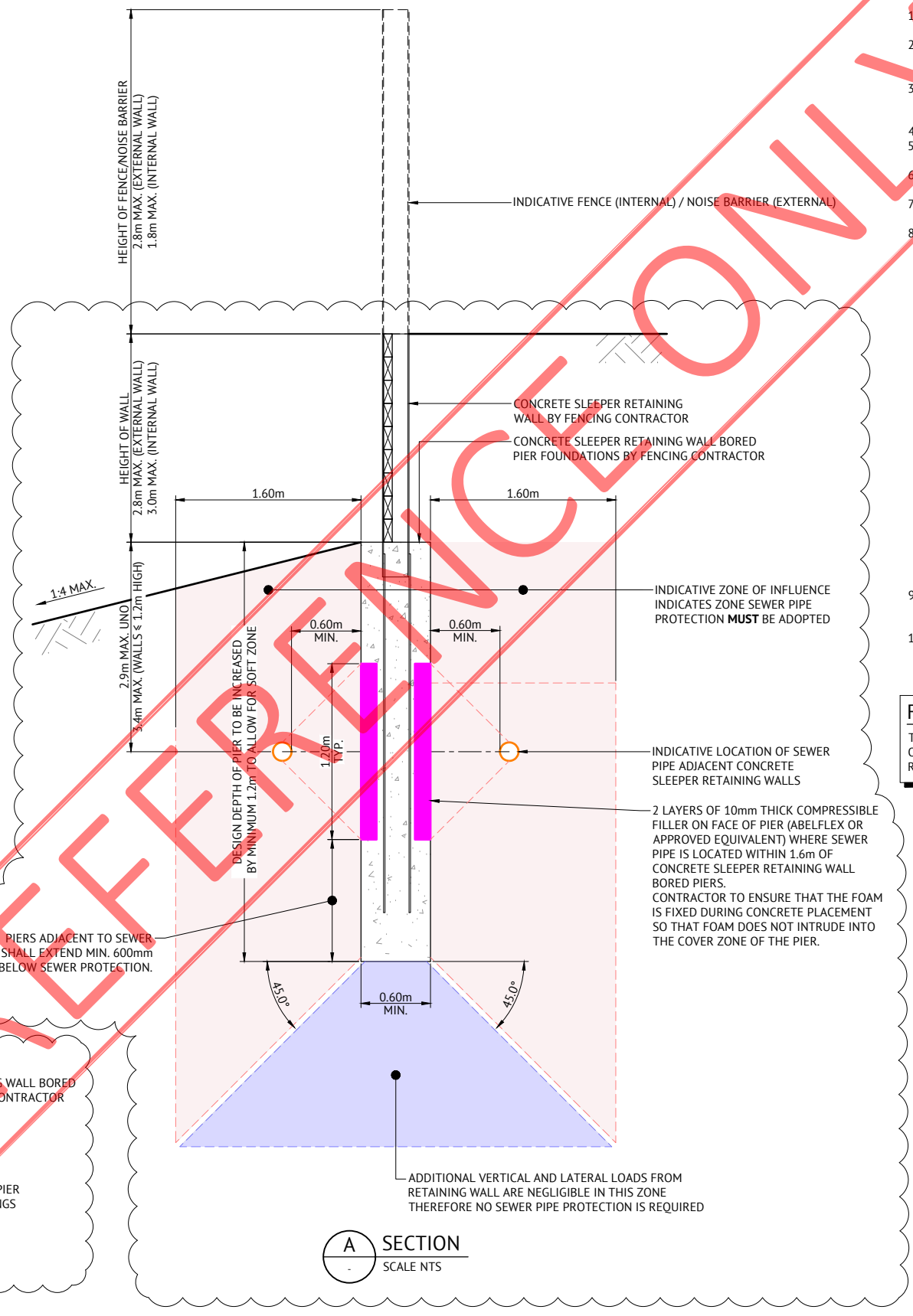
REV  
**C**



**TYPICAL SEWER PIPE PROTECTION - PARALLEL**  
NOT TO SCALE



**TYPICAL SEWER PIPE CROSSING**  
NOT TO SCALE



**NOTES**

- SPECIFIC LOCATIONS SEWER PIPE PROTECTION IS REQUIRED IS IDENTIFIED ON SEWERAGE LAYOUT PLANS.
- WHERE THE NOMINATED PARAMETERS ARE EXCEEDED, CONTRACTOR IS TO NOTIFY SUPERINTENDENT TO ALLOW FOR ASSESSMENT OF PROPOSED WALL PARAMETERS AND SUITABILITY OF SEWER PIPE PROTECTION.
- CONSTRUCTION METHODS ARE THE RESPONSIBILITY OF THE BUILDER. DETAILS SHOWN ARE A GUIDE AND ALTERNATIVE DETAILS MAY BE SUBMITTED FOR ENGINEERING APPROVAL PRIOR TO WORKS COMMENCING.
- MAINTAIN THE STRUCTURE IN A STABLE CONDITION DURING CONSTRUCTION. DO NOT OVERSTRESS ANY PART OF THE MEMBERS DURING FABRICATION, TRANSPORTATION OR ERECTION.
- PROPRIETARY ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DESIGN DETAILS.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO MAKE GOOD ANY DAMAGE TO ADJOINING STRUCTURES OR ELEMENTS CREATED DURING CONSTRUCTION.
- ASSESSMENT OF THE INTERACTION BETWEEN THE PIPE AND RETAINING WALL FOUNDATIONS HAS BEEN PERFORMED ON THE FOLLOWING BASIS.
  - ANY TRENCHES WITHIN 3m OF WALL TO BE CONSTRUCTED AND COMPACTED PRIOR TO CONSTRUCTION OF WALL.
  - MAXIMUM 5kPa LIVE LOAD SURCHARGE ABOVE RETAINING WALLS
  - WIND ACTIONS APPLICABLE TO FENCE AND ACOUSTIC WALLS ABOVE RETAINING WALLS CALCULATED IN ACCORDANCE WITH AS1170.2
    - REGION B
    - TERRAIN CATEGORY 2.5
  - RETAINING WALLS ARE TO BE DRAINED SO THAT NO PORE WATER PRESSURE BUILD UP BEHIND THE WALL. TO FACILITATE THIS, NO OVERLAND FLOW SHALL BE DISCHARGED OVER WALLS AND SUFFICIENT DRAINAGE DETAILS SHALL BE PROVIDED BEHIND ALL WALLS.
  - THE GEOTECHNICAL PARAMETERS APPLICABLE TO THE RETAINED SOIL SHALL BE
    - CLASS I FILL
    - SOIL UNIT WEIGHT 19kN/m<sup>3</sup>
    - INTERNAL ANGLE OF FRICTION 30°
    - MATERIAL UNCERTAINTY FACTOR 0.95
  - THE GEOTECHNICAL PARAMETERS APPLICABLE TO THE FOUNDING SOIL HAVE BEEN INFERRED FROM THE GEOTECHNICAL REPORT 21518A PREPARED BY MORRISON GEOTECHNIC DATED 14/06/16
    - NATURAL MATERIAL
    - SOIL UNIT WEIGHT 20kN/m<sup>3</sup>
    - INTERNAL ANGLE OF FRICTION 32°
    - MATERIAL UNCERTAINTY FACTOR 0.85
- GEOTECHNICAL ENGINEER SHALL BE ENGAGED, AT THE CIVIL CONTRACTOR'S EXPENSE, TO CERTIFY THE GEOTECHNICAL PARAMETERS RELEVANT AT EACH PIER LOCATION. PREMISE TO BE NOTIFIED IF GROUND CONDITIONS VARY FROM ABOVE PARAMETERS. A STRUCTURAL ENGINEER MUST BE ENGAGED, AT THE CIVIL CONTRACTOR'S EXPENSE TO EVALUATE THE CAPACITY OF THE WALL, FOUNDATIONS, AND INTERACTION WITH SEWER PRIOR TO ANY FUTURE EXCAVATIONS WITHIN 3m OF THE WALL.

**FUTURE SEWER WORKS & MAINTENANCE**

THE RETAINING WALL IS NOT DESIGNED TO ALLOW FOR FUTURE EXCAVATION OF THE SEWER. IF SEWER EXCAVATIONS IS REQUIRED, TEMPORARY BRACING OF RETAINING WALL SHALL BE DESIGNED BY A TEMPORARY WORKS ENGINEER.

**NOTE**

PIERS ADJACENT TO SEWER SHALL EXTEND MIN. 0.6m BELOW SEWER.

STRUCTURAL DETAILS APPROVED  
BRIONY HOOPER RPEQ 10854

AS CONSTRUCTED			
DATE	REV	DESCRIPTION	REVISIONS
09/03/21	C	AS CONSTRUCTED	RM RM
28/07/20	B	AMENDED PIPE PROTECTION DETAILS	EL PB
	A	ORIGINAL ISSUE	EL PB

**Premise**  
BRISBANE OFFICE  
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PO BOX 361  
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PH: (07) 3253 2222  
WEB: www.premise.com.au

DESIGNED  
E.LONGMIRE  
CHECKED  
M.MAJZNER  
PROJECT MANAGER  
R.LLEWELYN  
ENGINEERING CERTIFICATION

SCALE  
ORIGINAL SHEET SIZE A1

CLIENT  
**MIRVAC QUEENSLAND PTY LTD**

PROJECT  
**PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**

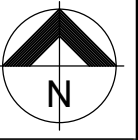
LOCATION  
**420 SOUTH PINE ROAD - EVERTON PARK**

SHEET TITLE  
**SEWER PIPE PROTECTION DETAILS**

JOB CODE  
**17BNE-0071**

SHEET NUMBER  
**C514**

REV  
**C**



**AS CONSTRUCTED CERTIFICATION**

I, Richard Morris hereby certify that:

- The information contained in this drawing/document is generally in compliance with approved drawings and design.
- To the best of my knowledge, this represents an accurate record of as constructed works and I accept the responsibility for the information contained in this drawing/document. Excluding Survey Error.

RPEQ No. 13484 Date 09/03/21  
RPEQ (Signature)

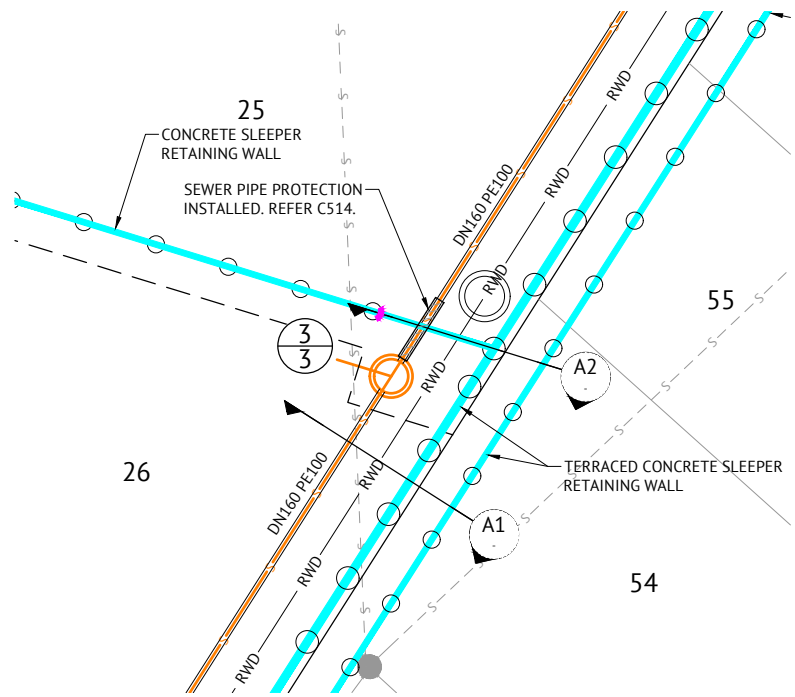
**NOTE**

REFER TO THE SEWER PIPE PROTECTION DETAILS ON DRAWING C514 FOR REQUIREMENTS WHERE SEWERS CROSS UNDER OR ADJACENT RETAINING WALLS

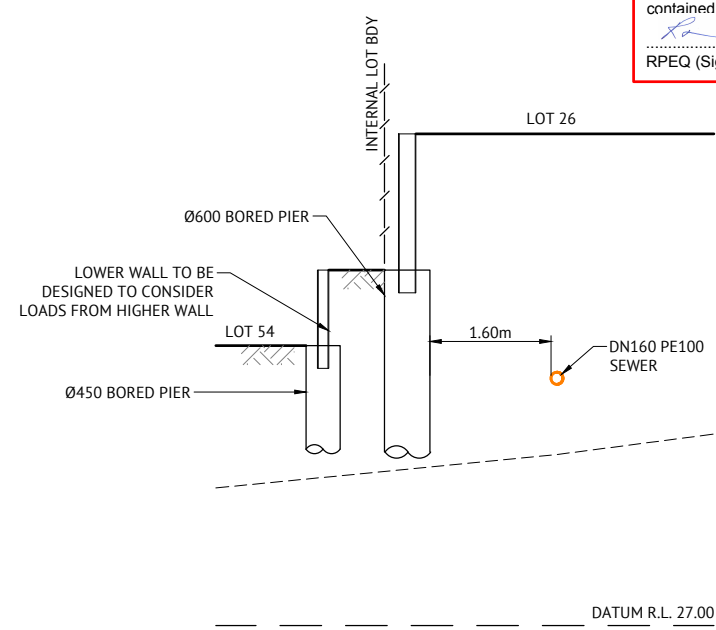
PIER LOCATIONS SHOWN INDICATIVELY. REFER TO C514 FOR MINIMUM PARAMETERS. RETAINING WALL DESIGN AND CONSTRUCT CONTRACTOR TO CONFIRM FINAL LOCATIONS.

**NOTE**

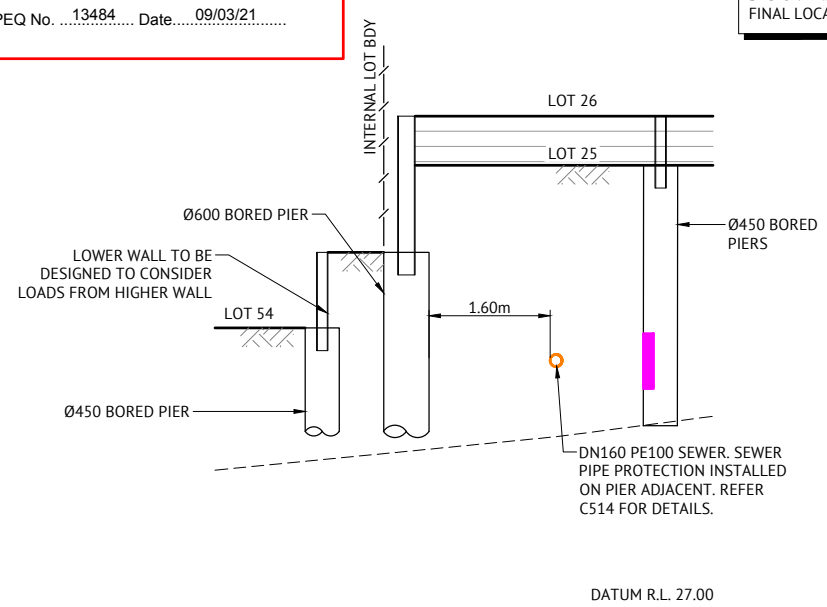
PIERS ADJACENT TO SEWER SHALL EXTEND MIN. 0.6m BELOW SEWER.



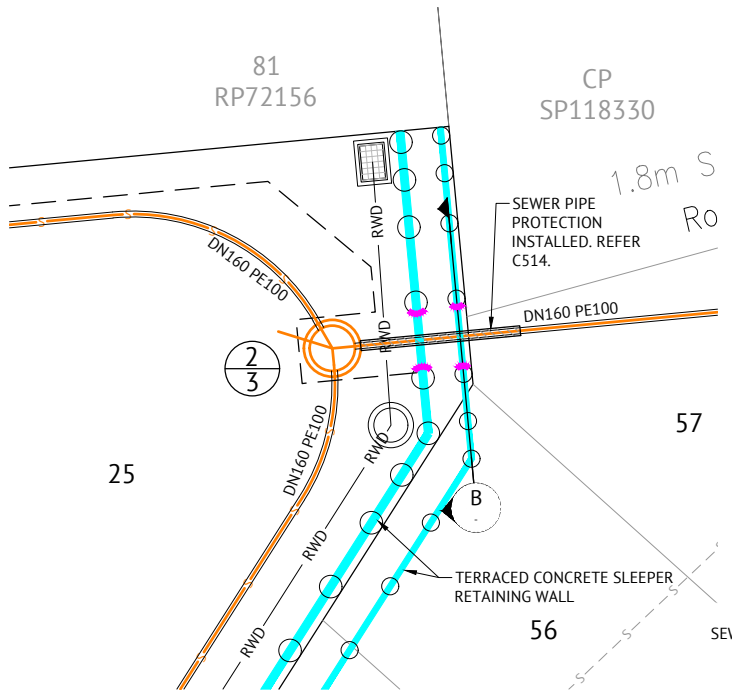
**DETAIL A**  
SCALE 1:100



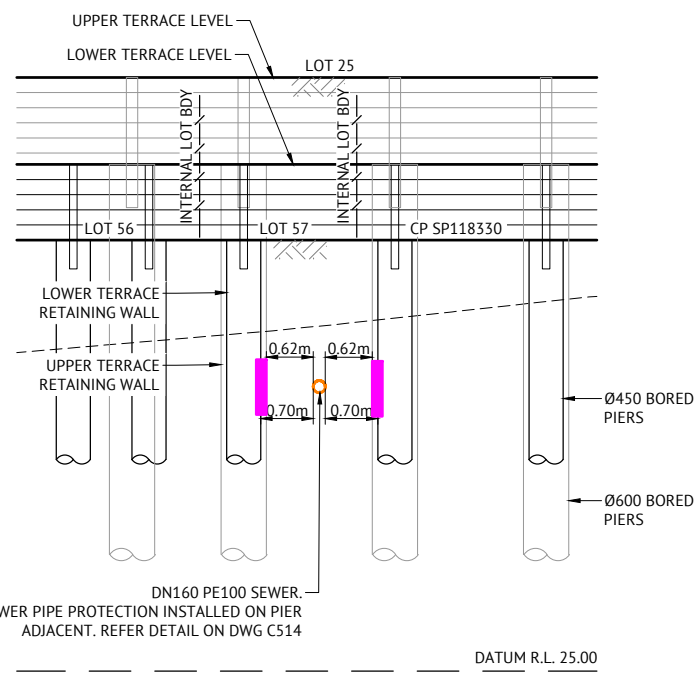
**A1 SECTION**  
SCALE 1:50



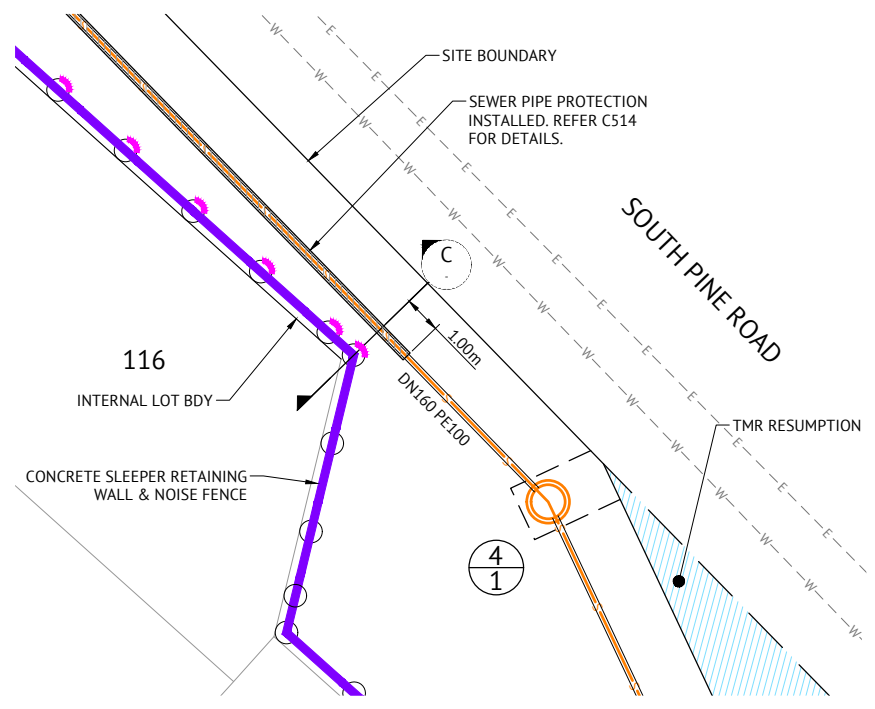
**A2 SECTION**  
SCALE 1:50



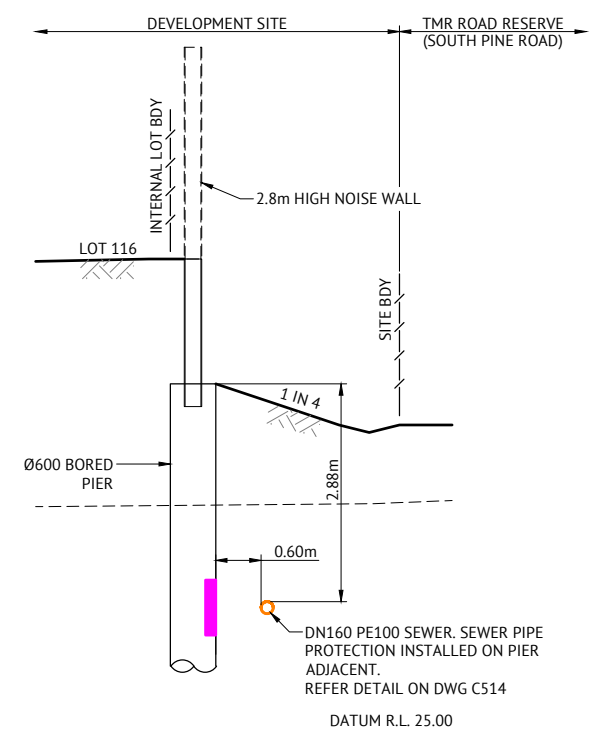
**DETAIL B**  
SCALE 1:100



**B SECTION**  
SCALE 1:50



**DETAIL C**  
SCALE 1:100



**C SECTION**  
SCALE 1:50

**AS CONSTRUCTED**

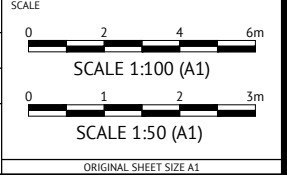
DATE	REV	DESCRIPTION	REVISIONS	BA	RIM
09/03/21	C	AS CONSTRUCTED			
28/07/20	B	AMENDED PIPE PROTECTION DETAILS			
	A	ORIGINAL ISSUE			
				EL	PB
				REC	APP

**Premise**

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DESIGNED  
**E.LONGMIRE**  
CHECKED  
**M.MAJZNER**  
PROJECT MANAGER  
**R.LLEWELYN**  
ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112



CLIENT  
**MIRVAC QUEENSLAND PTY LTD**

PROJECT  
**PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**

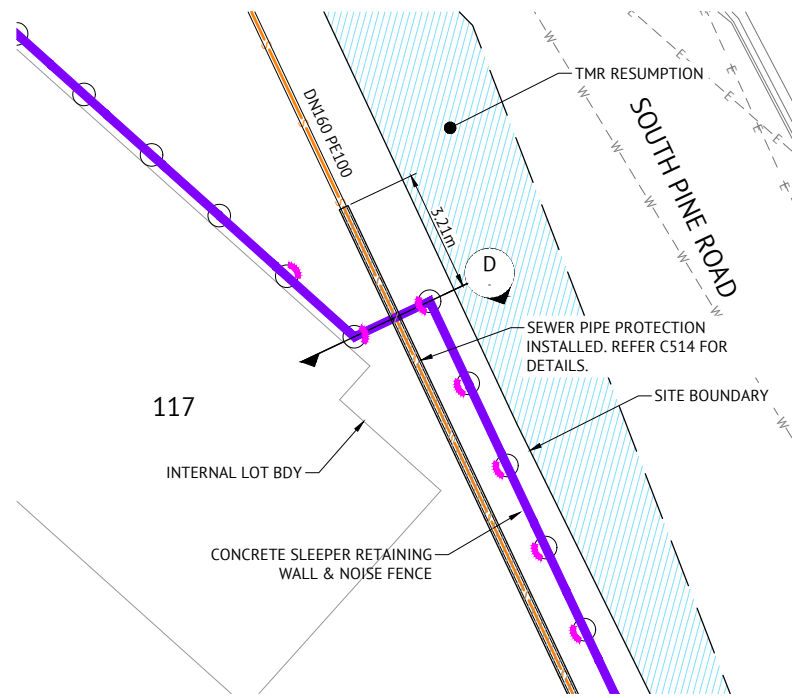
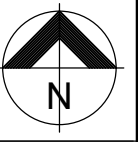
LOCATION  
**420 SOUTH PINE ROAD - EVERTON PARK**

SHEET TITLE  
**SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 1**

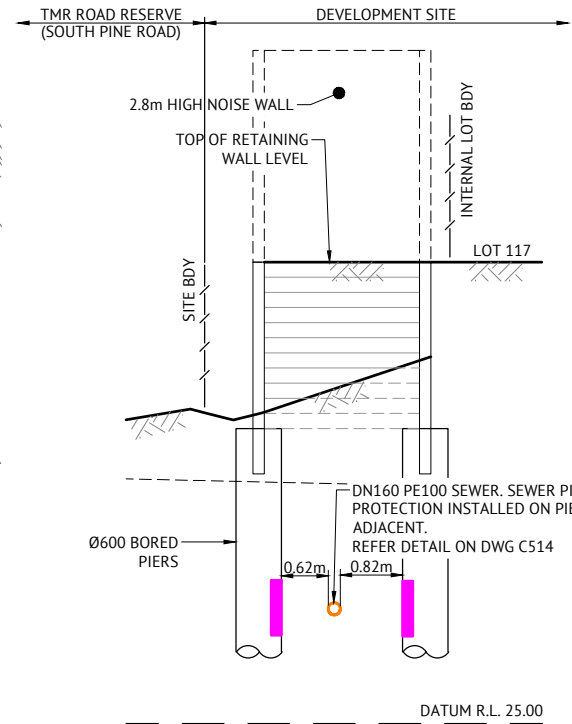
JOB CODE  
**17BNE-0071**

SHEET NUMBER  
**C515**

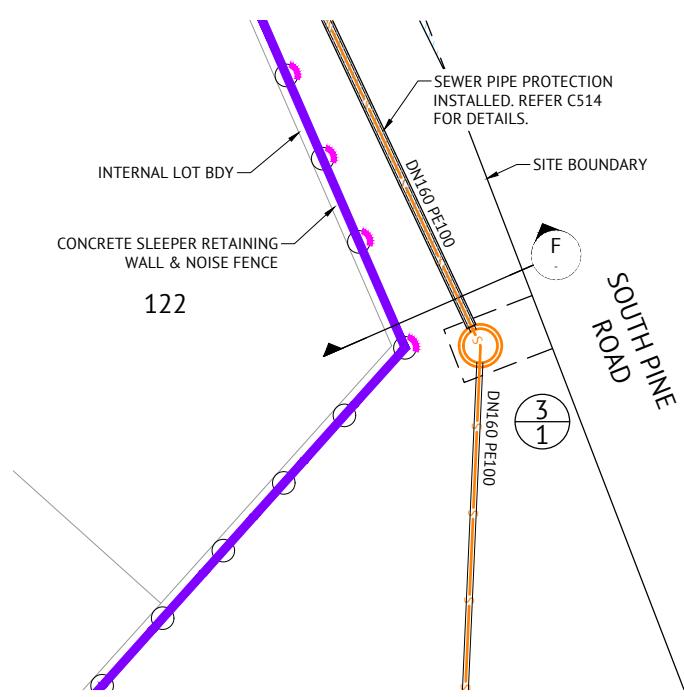
REV  
**C**



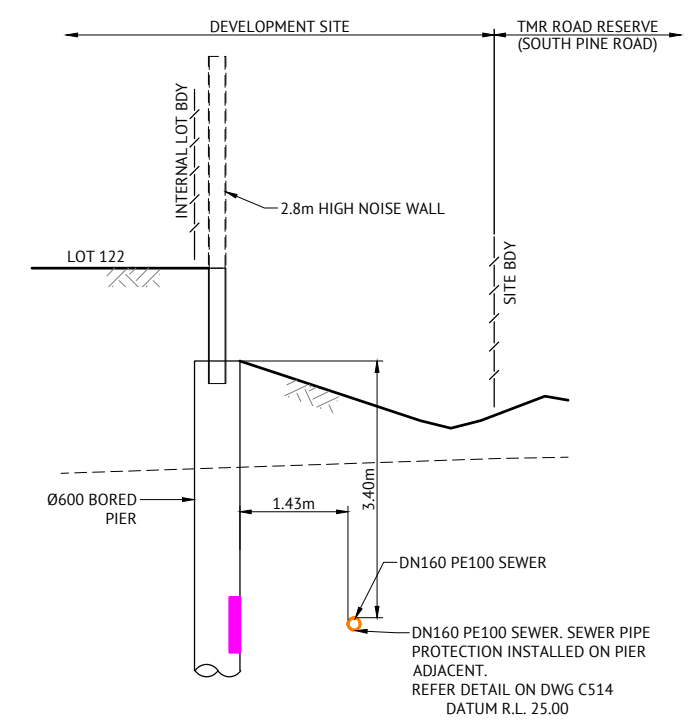
**DETAIL D**  
SCALE 1:100



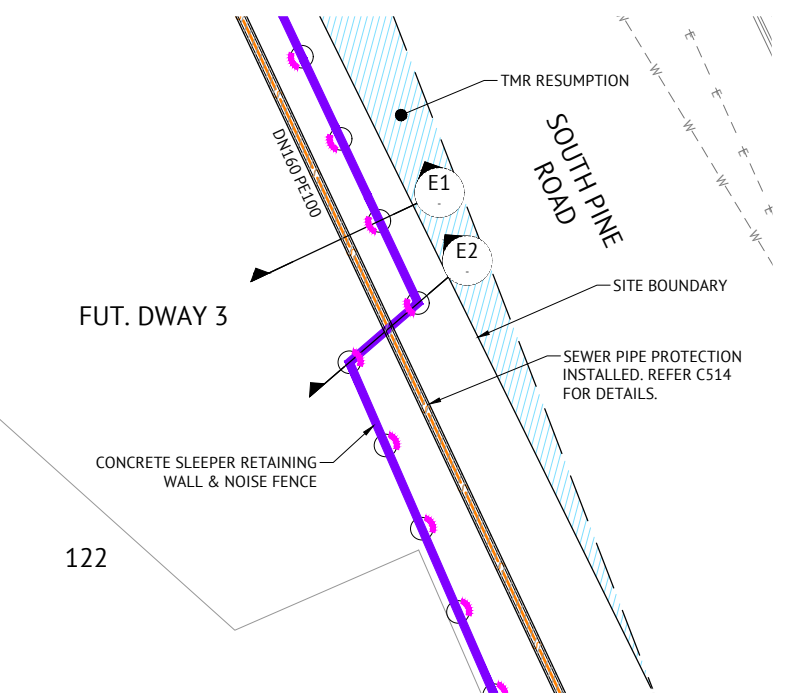
**D SECTION**  
SCALE 1:50



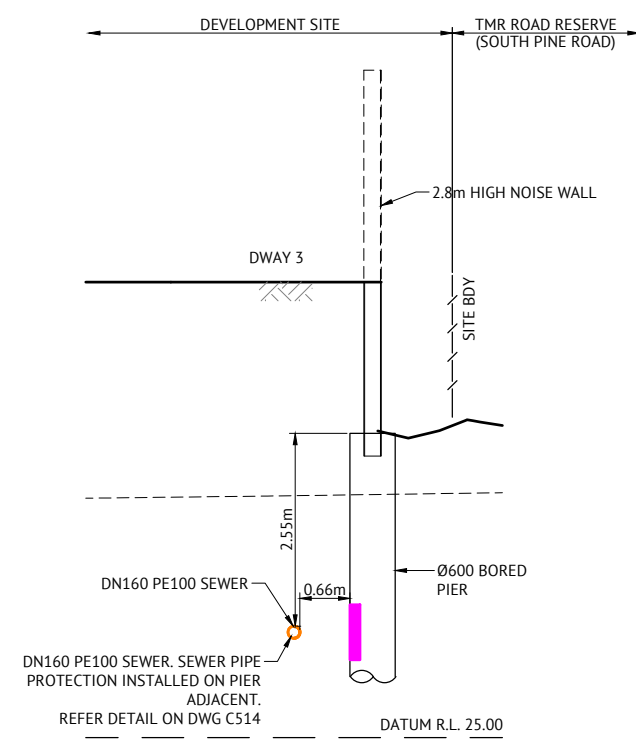
**DETAIL F**  
SCALE 1:100



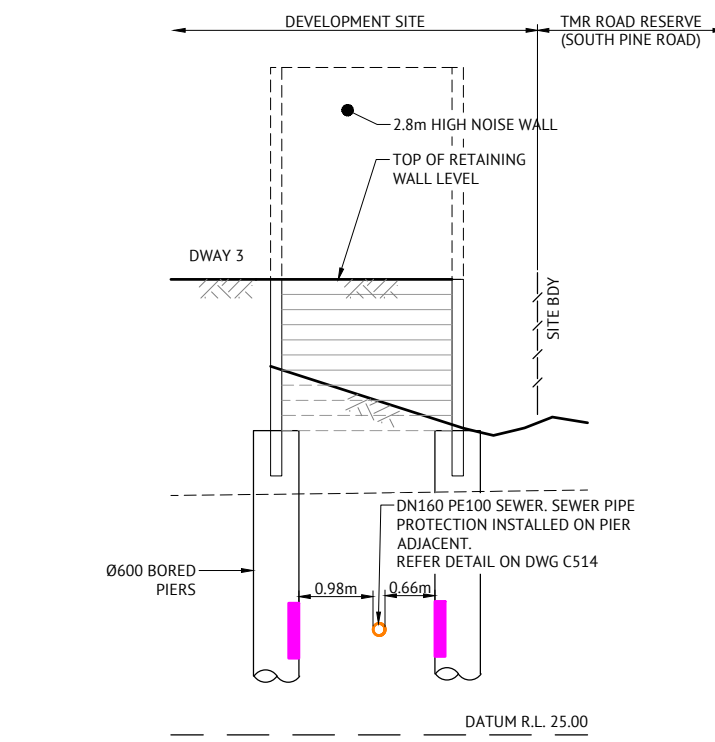
**F SECTION**  
SCALE 1:50



**DETAIL E**  
SCALE 1:100



**E1 SECTION**  
SCALE 1:50



**E2 SECTION**  
SCALE 1:50

**AS CONSTRUCTED CERTIFICATION**

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Richard Morris RPEQ No. 13484 Date 09/03/21  
RPEQ (Signature)

**NOTE**  
PIERS ADJACENT TO SEWER SHALL EXTEND MIN. 0.6m BELOW SEWER.

**NOTE**  
REFER TO THE SEWER PIPE PROTECTION DETAILS ON DRAWING C514 FOR REQUIREMENTS WHERE SEWERS CROSS UNDER OR ADJACENT RETAINING WALLS

PIER LOCATIONS SHOWN INDICATIVELY. REFER TO C514 FOR MINIMUM PARAMETERS. RETAINING WALL DESIGN AND CONSTRUCT CONTRACTOR TO CONFIRM FINAL LOCATIONS.

**AS CONSTRUCTED**

DATE	REV	DESCRIPTION	REC	APP
09/03/21	C	AS CONSTRUCTED	BA	RIM
28/07/20	B	AMENDED PIPE PROTECTION DETAILS	EL	PB
	A	ORIGINAL ISSUE	EL	PB

**Premise**

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DESIGNED: E.LONGMIRE  
CHECKED: M.MAJZNER  
PROJECT MANAGER: R.LLEWELYN  
ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112

SCALE

0 2 4 6m  
SCALE 1:100 (A1)

0 1 2 3m  
SCALE 1:50 (A1)

ORIGINAL SHEET SIZE A1

CLIENT: **MIRVAC QUEENSLAND PTY LTD**

PROJECT: **PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**

LOCATION: **420 SOUTH PINE ROAD - EVERTON PARK**

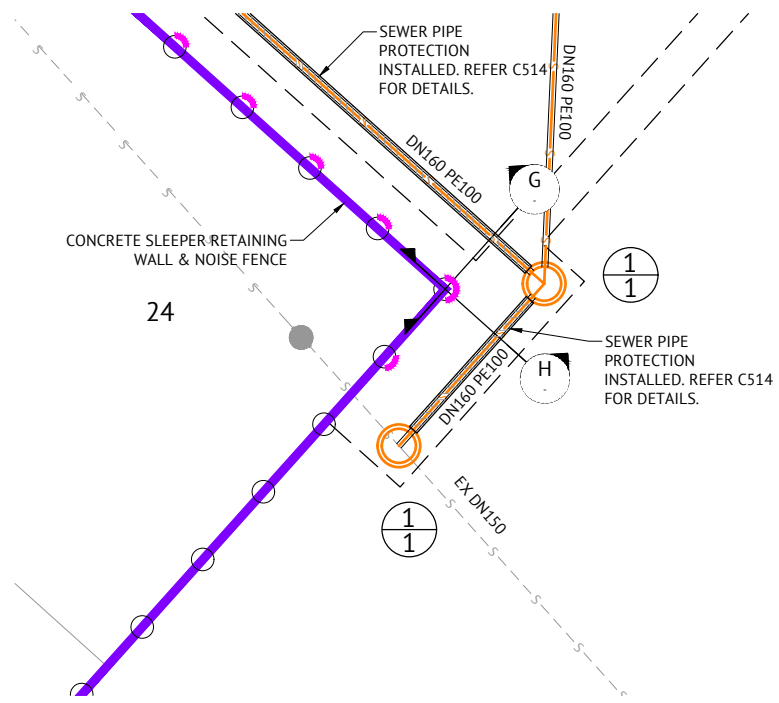
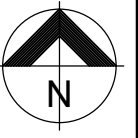
SHEET TITLE: **SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 2**

JOB CODE: **17BNE-0071**

SHEET NUMBER: **C516**

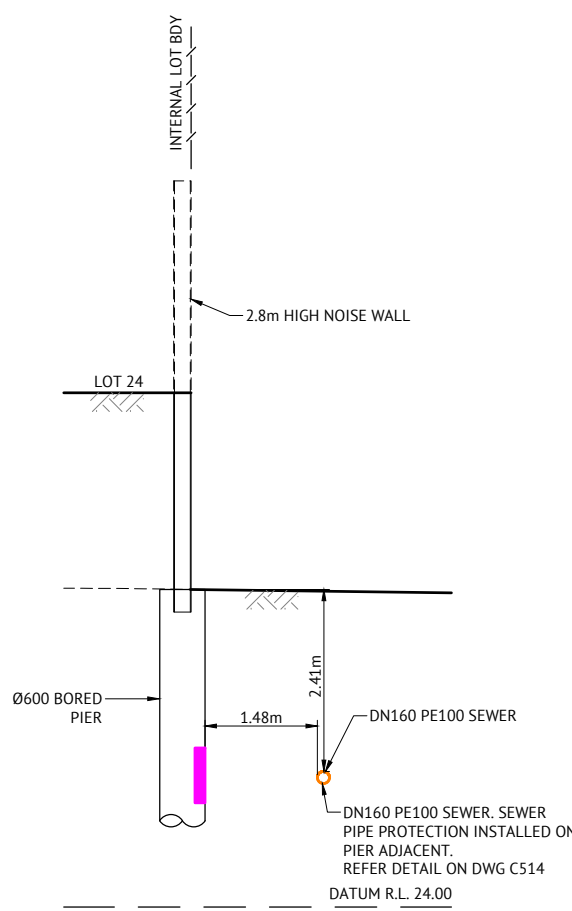
REV: **C**



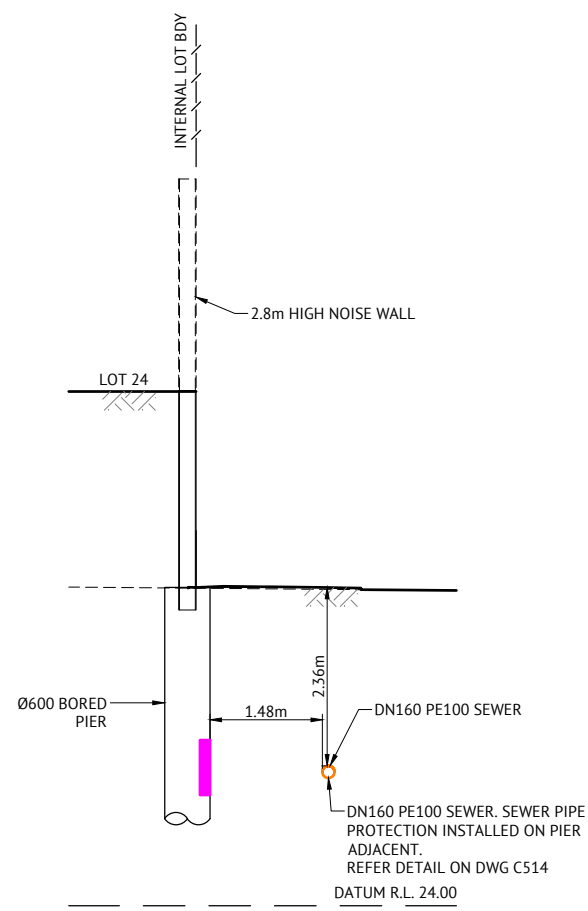


**NOTE**  
PIERS ADJACENT TO SEWER SHALL EXTEND MIN. 0.6m BELOW SEWER.

**DETAIL G**  
SCALE 1:100



**G SECTION**  
SCALE 1:50



**H SECTION**  
SCALE 1:50

**AS CONSTRUCTED CERTIFICATION**  
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2. To the best of my knowledge, this represents an accurate record of as constructed works and I accept the responsibility for the information contained in this drawing/document. Excluding Survey Error.  
[Signature] RPEQ No. 13484 Date: 09/03/21  
RPEQ (Signature)

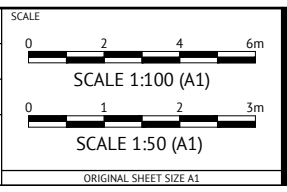
**NOTE**  
REFER TO THE SEWER PIPE PROTECTION DETAILS ON DRAWING CS14 FOR REQUIREMENTS WHERE SEWERS CROSS UNDER OR ADJACENT RETAINING WALLS  
PIER LOCATIONS SHOWN INDICATIVELY. REFER TO CS14 FOR MINIMUM PARAMETERS. RETAINING WALL DESIGN AND CONSTRUCT CONTRACTOR TO CONFIRM FINAL LOCATIONS.

**AS CONSTRUCTED**

DATE	REV	DESCRIPTION	REC	APP
09/03/21	C	AS CONSTRUCTED	BA	RJM
28/07/20	B	AMENDED PIPE PROTECTION DETAILS	EL	PB
	A	ORIGINAL ISSUE	EL	PB

**Premise**  
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DESIGNED  
E.LONGMIRE  
CHECKED  
M.MAJZNER  
PROJECT MANAGER  
R.LLEWELYN  
ENGINEERING CERTIFICATION  
PATRICK BRADY RPEQ 7112



CLIENT: **MIRVAC QUEENSLAND PTY LTD**  
PROJECT: **PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**  
LOCATION: **420 SOUTH PINE ROAD - EVERTON PARK**  
SHEET TITLE: **SEWERAGE & RETAINING SECTIONS AND DETAILS - SHEET 3**

JOB CODE: **17BNE-0071**  
SHEET NUMBER: **C517**  
REV: **C**





MH / MS COVER TYPE	BBD	B
MH / MS TYPE	G	X
MH DROP TYPE	A	A
LINE NO.	5 1	4
PROPERTY CONNECTION DEPTH		
PROPERTY CONNECTION INVERT LEVEL		
PROPERTY CONNECTION TYPE		
LOT NO.		

MANHOLE 'TYPE X' TO BE CONSTRUCTED WITH HDPE LINING.

**LEGEND**

**MAINTENANCE STRUCTURE**

- G = QUU TYPE G MANHOLE
- F = QUU TYPE F MANHOLE
- X = QUU TYPE X MANHOLE
- SMH = SULPHIDE CONTROL MAINTENANCE HOLE
- MS = MAINTENANCE SHAFT
- TEP = TERMINAL ENTRY POINT
- HB = HORIZONTAL BEND
- VB = VERTICAL BEND
- TE = TEMPORARY END

**COVER TYPES**

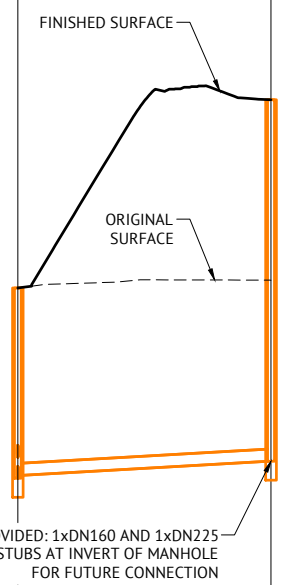
- B = CLASS B COVER
- D = CLASS D COVER
- BBD = CLASS B BOLT DOWN COVER
- DBD = CLASS D BOLT DOWN COVER

REFER SEQ WATER STD DWGS FOR DETAILS.

\* EMBEDMENT TYPE 4 WITH CRUSHED ROCK NOMINAL 5-7mm (SINGLE SIZED).

NOTE:  
WHERE SEWER CROSSES UNDER RETAINING WALLS, REFER TO SEWER PIPE PROTECTION DETAILS ON DRAWING C514.

REFER SEWER NOTES ON DRAWING C500.



DATUM RL	22.000	
PROPERTY DESCRIPTION		PP
PIPE SIZE (mm), CLASS		DN160 PE100 SDR21
GRADE (1 IN X)		<del>306</del> <del>400</del>
LENGTH		<del>32.699</del> <del>33.500</del>
EMBEDMENT TYPE		TYPE 4
DEPTH OF INVERT BELOW FSL	2.493 <del>2.557</del>	4.809 <del>4.700</del>
INVERT LEVEL (IL)	25.647 <del>25.642</del>	25.861 <del>25.866</del>
FINISHED SURFACE LEVEL (FSL)	28.140 <del>28.139</del>	30.670 <del>30.669</del>
EXISTING SURFACE LEVEL (ESL)	28.159	28.261
CHAINAGE (CH)	0.000	32.699 <del>33.500</del>

LINE 5

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Richard Morris RPEQ No. 13484 Date 09/03/21  
RPEQ (Signature)

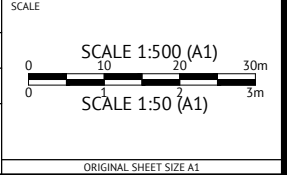
**AS CONSTRUCTED**

DATE	REV	DESCRIPTION	REVISIONS	REC	APP
09/03/21	E	AS CONSTRUCTED		BA	RIM
28/07/20	D	MINOR NOTATION AMENDED		EL	PB
16/07/2020	C	NOTATION ADDED FOR REFERRAL TO PIPE PROTECTION DETAILS		EL	PB
21/05/2020	B	DRAWING AMENDMENTS AS PER QUU RFI 08/05/2020		EL	PB
02/04/2020	A	ORIGINAL ISSUE		EL	JCS

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CHECKED	M.MAJZNER
PROJECT MANAGER	R.LLEWELYN
ENGINEERING CERTIFICATION	

PATRICK BRADY RPEQ 7112



CLIENT	MIRVAC QUEENSLAND PTY LTD
PROJECT	PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)
LOCATION	50 ASHMORE STREET - EVERTON PARK
SHEET TITLE	SEWERAGE LONG SECTIONS - SHEET 3

JOB CODE	17BNE-0071
SHEET NUMBER	C522
REV	E

**LIVE SEWER WORKS**

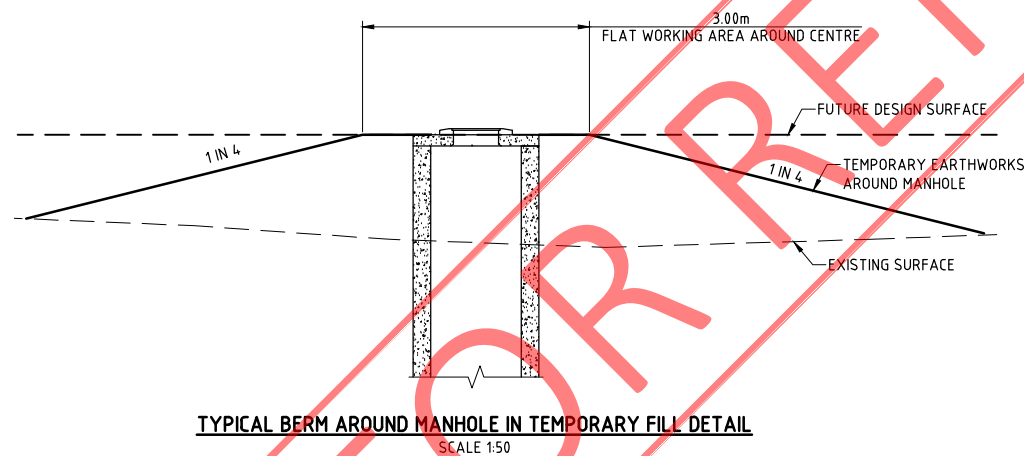
AT LEAST 3 BUSINESS DAYS PRIOR TO COMMENCING LIVE WORKS, LIVE WORKS INFORMATION IS TO BE LODGED WITH QUU AND AUDIT BOOKED. THE LIVE WORKS INFORMATION WILL COMPRISE OF TEST RESULTS, INCLUDING PRESSURE TESTS AND SEWER CAMERA INSPECTION RECORDS.  
A "SAFE WORK PLAN" AS PER WORK HEALTH AND SAFETY LEGISLATION MUST BE COMPLETED FOR EXCAVATION WORKS CARRIED OUT BY CONTRACTORS AT DEPTHS OF 1.500m OR GREATER PRIOR TO COMMENCING ANY WORKS.

**TIMELINE FOR DOCUMENTATION**

ACTION	TIMING	RESPONSIBILITY
TIMING OF THE AUDIT IS TO BE CONFIRMED BY EMAILING DEVELOPMENT.PERMITS@URBANUTILITIES.COM.AU	A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
PRESSURE TEST - UNDERTAKE AND LODGE WITH QUU.	LODGED A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
CCTV SEWER FOOTAGE AND REPORT - UNDERTAKE AND LODGE WITH QUU.	LODGED A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
VACUUM TEST (SEWER) - UNDERTAKE AND LODGE WITH QUU.	LODGED A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
LIVE WORKS SCHEDULE - CONFIRM FINAL TIMING BY EMAIL AT DEVELOPMENT.AUDIT@URBANUTILITIES.COM.AU	ADVISED A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
CUSTOMER NOTIFICATION - ALL AFFECTED CUSTOMERS NOTIFIED IN WRITING OF THE DATE AND TIMEFRAME OF THE SERVICE SHUTDOWN (INCLUDING THE CONTINGENCY AREA), AS OUTLINED IN THE NETWORK ACCESS PERMIT.	NOTIFIED A MINIMUM OF 2 BUSINESS DAYS PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
CONTACT CENTRE NOTIFICATION - NOTIFY QUU CALL CENTRE 132 364 OF SERVICE SHUTDOWN, AS OUTLINED IN THE NETWORK ACCESS PERMIT.	NOTIFICATION ON THE DAY PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT
CONTROL ROOM NOTIFICATION - NOTIFY QUU CONTROL ROOM 3856 7179 OF WORKS COMMENCING, AS OUTLINED IN THE NETWORK ACCESS PERMIT.	NOTIFICATION ON THE DAY PRIOR TO COMMENCEMENT OF LIVE WORKS	APPLICANT

**LIVE SEWER WORKS**

SEWER DISUSED				JOB NO. 17BNE-0071		NUMBER OF MH, MS, HB & VB				
LOCATION	DWG. No.	DIA.	TYPE	LENGTH	YEAR LAID	MH	MS	HB	VB	OTHER
PRIVATE PROPERTY	C510	150	CONCRETE UNREINFORCED	402.300	1968	6				



LEVELS IN THE LIVE SEWER TABLE ARE DESIGN LEVELS. AS CONSTRUCTED INFORMATION TO BE ADDED WHEN AVAILABLE.

EXCAVATION, SAFE-SHORING AND ASSOCIATED WORK BY CONTRACTOR. EXCAVATION WORKS CARRIED OUT BY CONTRACTORS AT DEPTH OF 1.5m OR GREATER MUST PROVIDE A "SAFE WORK PLAN" AS PER WORKPLACE HEALTH AND SAFETY LEGISLATION TO SEQ-SPS PRIOR TO COMMENCING ANY WORK.

**LIVE SEWER WORKS**

No.	DESCRIPTION	DIA. SEWER	MH NO.	MH TYPE	COVER TYPE	LOT NO.	F.S.L.	E.S.L.	I.L.	DEPTH
1(A)	CONTRACTOR TO BREAK INTO EXISTING MAINTENANCE HOLE MH139720 AND CONSTRUCT DN160 STUB (TEMPORARILY END CAPPED) PRIOR TO START OF CONSTRUCTION.	DN160 PE100	MH139720	G	B	-	31.534	31.534	29.599	1.935
1(B)	BENCHING IN EXISTING MH139720 TO BE AMENDED TO SUIT ADDITIONAL FLOW DIRECTION FROM MAINTENANCE HOLE 1/4.									
1(C)	CONTRACTOR TO LAY NEW LINE 4 (FROM EX MH139720 - MH6/4) INCLUDING CONSTRUCTION OF NEW MAINTENANCE HOLE 6/4 OVER EXISTING SEWER AND BENCH AND RENDER UP TO PIPE BUT NOT REMOVE CROWN OF PIPE. AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY QUU.			G	B	-	31.534	31.534	29.914	1.620
1(D)	CONTRACTOR TO REMOVE TEMPORARY END CAP ON STUB EX MH139720 & LINE 4 AND MAKE LIVE CONNECTIONS TO EX MH139720 AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 4.									
2(A)	FOLLOWING LIVE CONNECTION 1, CONTRACTOR TO REMOVE CROWN OF EXISTING PIPE AT MAINTENANCE HOLE 6/4. COMPLETE BENCHING FOR NEW FLOW DIRECTION INTO LINE 4 AND MAKE LIVE CONNECTION TO MAINTENANCE HOLE 6/4 AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 4.	DN160 PE100	6/4	G	B	32	32.980	32.867	31.063	1.917
3(A)	CONTRACTOR TO CONSTRUCT NEW MAINTENANCE HOLE 1/1 OVER EXISTING SEWER AND BENCH AND RENDER UP TO PIPE BUT NOT REMOVE CROWN OF PIPE.	DN160 PE100	1/1	G	BBD	-	28.210	28.210	25.610	2.600
3(B)	CONTRACTOR TO LAY NEW LINE 1 (FROM 1/1 - EX MH147504). AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY QUU.									
3(C)	CONTRACTOR TO REMOVE CROWN OF PIPE AND COMPLETE BENCHING AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 1.									
4(A)	CONTRACTOR TO BREAK INTO EXISTING MAINTENANCE HOLE MH147504 AND CONSTRUCT DN160 STUB (TEMPORARILY END CAPPED).	DN160 PE100	MH147504	E	B	-	28.955	28.955	27.118	1.837
4(B)	BENCHING IN EXISTING MH147504 TO BE AMENDED TO SUIT NEW FLOW DIRECTION TO MAINTENANCE HOLE 5/1.									
4(C)	CONTRACTOR TO REMOVE TEMPORARY END CAPS ON STUB AT EX MH147504 & LINE 1 AND MAKE LIVE CONNECTIONS AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 1.			E	B	-	28.955	28.955	27.100	1.855
5(A)	CONTRACTOR TO LAY NEW LINE 3 ( FROM MANHOLE 5/1, 1/3, 2/3, 1/2) INCLUDING CONSTRUCTION OF NEW MAINTENANCE HOLE 1/2 OVER EXISTING SEWER AND BENCH AND RENDER UP TO PIPE BUT NOT REMOVE CROWN OF PIPE, AND CONSTRUCT DN160 STUB (TEMPORARILY END CAPPED). AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY QUU.	DN160 PE100	5/1	G	B	-	28.785	28.247	27.040	1.745
5(B)	CONTRACTOR TO REMOVE TEMPORARY END CAPS ON STUB AT MAINTENANCE HOLE 5/1 & LINE 3 AND MAKE LIVE CONNECTIONS AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 3.			G	B	-	28.785	28.247	27.080	1.705
6(A)	FOLLOWING LIVE CONNECTION 5, CONTRACTOR TO REMOVE CROWN OF EXISTING PIPE IN MAINTENANCE HOLE 1/2, COMPLETE BENCHING FOR NEW DIRECTION OF FLOW INTO LINE 2 AND 3 AND MAKE LIVE CONNECTION TO MANHOLE 1/2 AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 3.	DN160 PE100	1/2	G	B	25	32.850	31.240	29.954	2.896
7(A)	CONTRACTOR TO PLUG EXISTING MH139723 AT DOWNSTREAM PRIOR TO DISUSE AND REMOVAL OF EXISTING SEWER BETWEEN EX MH139723 AND EX MH147500 AND PROVIDE TEMPORARY BYPASS PUMPING OF SEWAGE FOR THE SALES OFFICE (ONLY) FROM EX MH139723 TO NEW LINE 4 AT MAINTENANCE HOLE 6/4.		MH139723	H	B	31	32.500	30.185	29.319	0.866
8(A)	CONTRACTOR TO LAY NEW LINE 3 (FROM EX MH2/3, 3/3, 4/3). AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY QUU. CONTRACTOR TO REMOVE TEMPORARY END CAPS ON STUB AT MAINTENANCE HOLE 2/3 & LINE 3 AND MAKE LIVE CONNECTIONS TO EX MH2/3 AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION OF LINE 3.	DN160 PE100	2/3	F	B	25	32.850	29.879	30.025	2.825
9(A)	FOLLOWING LIVE CONNECTION 8, CONTRACTOR TO CONSTRUCT NEW PROPERTY CONNECTION FOR EXISTING SALES OFFICE ON LOT 32 TO MAINTENANCE HOLE 4/3. AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY QUU.  AFTER BCC ACCEPTANCE OF NEW SANITARY DRAIN FOR THE SALES OFFICE ON LOT 32, CONTRACTOR TO DISCONNECT EXISTING CONNECTION FOR SALES OFFICE AND RECONNECT SANITARY DRAIN TO NEW PROPERTY CONNECTION.  AFTER NEW SALES OFFICE PROPERTY SERVICE IS CONNECTED, CONTRACTOR TO REMOVE TEMPORARY BYPASS FROM EX MH139723.	DN160 PE100	4/3	MS	B	32	32.500	30.803	31.239	1.261

**FOR CONSTRUCTION**

DATE	REV	DESCRIPTION	REC	APP
28/07/20	D	LIVE WORKS TABLE UPDATED WITH ADDITIONAL DETAILS	EL	PB
16/07/2020	C	LIVE SEWER WORKS TABLE AMENDED AND TYPICAL BERM DETAIL IN TEMPORARY FILL ADDED	EL	PB
21/05/2020	B	DRAWING AMENDMENTS AS PER QUU RFI 08/05/2020	EL	PB
02/04/2020	A	ORIGINAL ISSUE	EL	JCS



**BRISBANE OFFICE**  
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DESIGNED  
E.LONGMIRE  
CHECKED  
M.MAJZNER  
PROJECT MANAGER  
R.LLEWELYN  
ENGINEERING CERTIFICATION  
  
PATRICK BRADY RPEQ 7112

SCALE  
  
ORIGINAL SHEET SIZE A1

CLIENT **MIRVAC QUEENSLAND PTY LTD**  
PROJECT **PROPOSED DEVELOPMENT - STAGE 1 (11 LOTS)**  
LOCATION **50 ASHMORE STREET - EVERTON PARK**  
SHEET TITLE **SEWERAGE NOTES AND DETAILS**

JOB CODE **17BNE-0071**  
SHEET NUMBER **C530** REV **D**